

Chapter 20

PLANNED DEVELOPMENT OVERLAY

A zoning ordinance to foster creative, efficient, and comprehensive design of site development.

Adopted _____, 2008

CITY OF KANAB

Uniform Zoning Ordinance

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Section 20-1 Purpose and Intent

The purpose of the Planned Development Overlay is to establish a process to foster creative, efficient, and comprehensive design of site development and to provide a means whereby real property may be developed with greater latitude in site standards, common areas, and open space than is allowed through traditional zoning controls.

It is the intent of this overlay to provide land use and design regulations through the use of performance criteria so that small-to-large scale neighborhoods or portions thereof, may be developed with a variety of residential types and non-residential uses, which are planned and developed as a unit.

These regulations provide flexibility in site design in order to:

1. Encourage imaginative design and the creation of permanent open space.
2. Encourage affordable housing to be integrated in new developments.
3. Encourage the conservation of natural site features, wildlife habitat, and sensitive lands.
4. Combine and coordinate architectural styles, building forms, and structural/visual relationships within an environment that allows mixing of residential types and other land uses in an innovative and functionally efficient manner.

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5. Encourage land development that, to the greatest extent possible, preserves open space areas and respects natural topographic and geologic conditions.
6. Encourage the development of street, pedestrian and bicycle paths that contribute to a system of fully connected routes, local trails and the City Trails System Master Plan.
7. Promote a more efficient utilization of land than what might be obtained through other development procedures (clustering).
8. Facilitate the economical and adequate provision of public services.
9. Provide for adequate on and off street parking.
10. Provide unique and unusual land uses to be planned for and located in a manner that ensures harmony with the surrounding community.
11. Ensure that development occurs at proper locations, away from environmentally sensitive areas, and on land physically suited to construction.

Section 20-2 Scope

The requirements of this Chapter shall apply to any planned development within the City. Such requirements shall not be construed to prohibit or limit other applicable provisions of this City of Kanab Uniform Zoning Ordinance, also designated as this Title, the Kanab City Code, or other laws except to the extent such provisions are altered by the requirements of this Chapter.

Section 20-3 Minimum Area of Zone

The Planned Development Overlay shall be applied only to projects consisting of at least ten (10) contiguous acres.

Section 20-4 Development Agreement

A Development Agreement shall be prepared and approved in conjunction with approval of the Planned Development Overlay. The purpose of the Development Agreement is to describe how the developer and the City will address items not expressly addressed in this code.

Section 20-5 Use with Underlying Zone

The Planned Development Overlay shall overlay any of the Single Family Residential Zones set forth in Chapter 15 of this Ordinance,

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subject to the requirements of this Chapter.

1. Provisions Supplementary: The provisions of the Planned Development Overlay shall be supplementary to the provisions of the zone with which it is combined and shall not be applied to any land area as an independent overlay.

2. Zone Designation: The Planned Development Overlay designation shall be shown on the Official Zoning Map in parentheses as a suffix to the zone designation with which it is combined. For example, if the Planned Development Overlay is being combined with the Residential RR1 zone, it would be designated on the Official Zoning Map as "RR1 (PD)." Only one zone shall be designated for the entire development.

Section 20-6 Uses Allowed

Uses allowed in a Planned Development Overlay shall be limited to those permitted or conditional uses set forth in the zone with which the Planned Development Overlay is combined and the uses set forth in this section. Any conditional use shall be subject to the issuance of a conditional use permit as set forth in this Title.

1. Multiple Family Dwellings: Multiple-family dwellings, as defined in Section 20-11-1-e of this Chapter, shall be a permitted use in a Planned Development Overlay provided that the Multiple Family Dwellings be located within the interior of the development and not around the perimeter and the overall density in a particular planned development project does not exceed the greater of:

- a. The density permitted by the underlying zone in which the project is situated; or
- b. The density authorized by a density bonus pursuant to Section 20-10-3 of this Chapter; or
- c. The Density Cap as defined in Section 20-10-4.

2. Accessory Uses: Accessory uses located in a common main building may be permitted. Accessory uses may include recreational facilities and structures, day care centers, personal services, and RV parking.

3. Commercial Uses: Any commercial use shown in Chapter 22 of this Title may be permitted within a planned unit development provided such use is:

- a. Specifically authorized as part of a site plan approved pursuant

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to the provisions of this Chapter; and

- b. Designed as an integral element of the planned development, including building and landscaping design which is consistent with design elements of the development.

Section 20-7 Variations from Development Standards

1. Variations from applicable development standards of an underlying zone in this Title may be approved as part of a Preliminary Site Plan for the Planned Development Overlay pursuant to the provisions of this chapter.

2. A variation from the setback requirements set forth in Section 20-11-4 and Section 20-11-5 may be approved if the City Council, after receiving a recommendation from the Planning Commission, finds such variation meets the approval criteria set forth in Section 20-8-8 and as set forth below. Any such variation shall be explicitly noted in the Development Agreement.

3. Variations from the development standards set forth in this Chapter are intended to be rare and shall be approved by at least four (4) members of the City Council.

4. The applicant shall bear the burden of persuasion with regard to any request for a variation. Such burden shall include, but not be limited to, demonstrating that:

- a. A proposed project which includes a variation is the result of a substantial amount of advance planning;
- b. Any adverse conditions which may result from the variation will be mitigated; and
- c. The variation will result in a substantial benefit not only to persons who will live or work within the project, but also to the City and its residents generally.

Section 20-8 Approval of Planned Development Overlay

Land shall be placed in a Planned Development Overlay as set forth in this Title. The documents and exhibits outlined herein shall be submitted.

1. Application for Planned Development Overlay.
2. Record of Survey, is a map showing property corners or other

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boundaries which have been established or re-established by a Land Surveyor.

3. Natural Resource Inventory Map, to illustrate the following site conditions illustrating the requirements of Chapter 11 of this Ordinance, to include, but not limited to:

- a. Natural Features
- b. Sensitive Lands as defined in Chapter 11 of this ordinance.
- c. Slopes greater than 40%, shall be measured in horizontal increments of no greater than 100 feet.
- d. Site topography with contours of 2-feet or less.
- e. Potentially expansive soils or potentially collapsible soils.
- f. Fault lines.
- g. High ground water table.
- h. A summary table listing acreages of the above items which have been identified on the project site.

4. Preliminary Site Plan, to include the following information. Information should be submitted on multiple sheets for clarity of presentation.

- a. The name, address and telephone number of the applicant and the applicant's agent, if any;
- b. *Land Use*: Show general location of proposed land uses, including residential areas, commercial, mixed use, and open space. Include proposed locations for civic spaces such as churches, schools, fire stations, etc. Show adjoining properties and uses. Include tables showing the number of acres in the proposed development and a land use summary.
- c. *Roadway*: Show general locations of proposed interior collector and/or major arterial streets, and points of connection to existing city streets and how the proposed project roads will integrate with the Kanab City Master Road Plan.
- d. *Typical Lot Layout*: Show typical proposed lot configuration, building clusters, setbacks, road rights-of-way, and road cross-sections.

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e. *Open Space:* Projects must have a minimum 20% of Gross Land Area designated as open space to qualify for this Planned Development Overlay. Sensitive lands do not qualify as open space. The Preliminary Plat shall show uses for open spaces, including golf course, parks, trails, undisturbed areas and those common areas defined in Section 20-11-8.

f. *Grading and Drainage:* Show proposed general grading patterns, and existing and proposed general drainage corridors. A Grading Permit is required.

g. *Utilities:* Contact local utility companies to determine service requirements to the proposed project. Show existing utility easements, proposed major utility easement corridors, points of service to major land use areas, and points to outside service connections.

h. *Landscape:* Show general landscape theme for proposed land uses, including, but not limited to, commercial areas, streets, and common space.

i. *Phasing:* Include a phased development plan if applicable.

5. Development Agreement, as required by Section 20-4 of this Chapter.

6. Parcel Map(s), from the County Recorder's office showing the subject property and all property located within the minimum radius defined by ordinance.

7. Traffic Impact Analysis, as determined by the City Engineer.

8. Approval Criteria: The Planned Development Overlay may only be approved if the City Council, after receiving a recommendation from the Planning Commission, finds:

a. The proposed Planned Development Overlay:

i. Does not conflict with any applicable policy of the City of Kanab General Plan;

ii. Meets the spirit and intent, as set forth in Section 20-1 of this Chapter;

iii. Will allow integrated planning and design of the property;

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iv. Meets the use limitations and other requirements of the zone with which the Planned Development Overlay is combined, except as otherwise allowed by this Chapter;

v. Meets the density limitations of the underlying zone, unless a density bonus is granted pursuant to the provisions of this Chapter; and

vi. If a density bonus is authorized, provides site design and increased amenities, as provided in Section 20-10-3 of this Chapter, which ameliorate the potential impact of increased density; and

b. The applicant has:

i. Sufficient control over the property to be developed to ensure development will occur as approved;

ii. The financial capability to carry out the planned development project; and

iii. The capability to start construction within one (1) year of final plan approval.

9. Imposition of Conditions: In order to make findings necessary to approve a Planned Development Overlay, conditions of approval may be imposed on a preliminary site plan to assure the planned development will:

a. Accomplish the purpose of this Chapter;

b. Be developed as one integrated land use rather than as an aggregation of individual and unrelated buildings and uses; and

c. Meet the requirements of the zone in which the proposed development is located except as such requirements are modified by this Chapter.

Section 20-9 Approval for Construction

1. Final Site Plan: Within twelve (12) months after approval of a Planned Development Overlay, and before the issuance of any building permit, an applicant shall meet the applicable requirements of the Kanab, Utah Subdivision Ordinance, and shall obtain approval of a Final Site Plan by the City Council following recommendation of the Planning Commission. The Final Site Plan shall include a set of development plans showing the following:

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a. *Site Layout*, showing the following:

- i. All facilities related to the project located within two hundred fifty (250) feet of the site boundary;
- ii. Layout, dimensions, and names of existing and future road rights-of-way;
- iii. Project name, North arrow, and tie to a section monument;
- iv. The boundary lines of the project site with bearings and distances;
- v. Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- vi. Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, mechanical equipment;
- vii. Location of man-made features including irrigation facilities, bridges, railroad tracks, and buildings;
- viii. Location and identification of Sensitive Lands;
- ix. A tabulation table, showing total gross acreage, square footage of street rights of way, square footage of buildable area, square footage of landscaping, number of parking spaces, and if any, the number and type of dwellings, and the percentage devoted to each dwelling type and overall dwelling unit density; and
- x. Identification of property, if any, not proposed for development.

b. *Grading and Drainage*, showing the following:

- i. North arrow, scale, and site plan underlay;
- ii. Topography contours at two (2) foot intervals.
- iii. Areas of substantial earth moving with an erosion control plan;
- iv. Location of existing water courses, canals, ditches, springs, wells, culverts, and storm drains, and proposed

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method of dealing with all irrigation and waste water;

v. Direction of storm water flows, catch basins, inlets, outlets, waterways, culverts, detention basins, orifice plates, outlets to off-site facilities, and off-site drainage facilities when necessary based on adopted City requirements; and

c. *Utilities*, showing the following:

i. North arrow, scale, and site plan underlay;

ii. All existing and proposed utilities including but not limited to: sewer, culinary water, secondary water, fire hydrants, storm drains, subsurface drains, gas lines, power lines, transformers, junction boxes, communications lines, cable television lines, and street lights;

iii. Minimum fire flow required by the Kanab City Fire Code for the proposed structures, and fire flow calculations as required by the City;

iv. Location and dimensions of all utility easements; and

v. Letter from sewer and water providers, addressing the feasibility and their requirements to serve the project.

d. *Landscaping*, consistent with the requirements of the Kanab City Ordinance and/or the Landscape Density Bonus Qualifier if used.

e. *Typical Building Elevations* - For representative building types showing the following:

i. Accurate front, rear, and side elevations drawn to scale;

ii. Exterior surfacing materials and colors, including roofing material and color;

iii. Outdoor lighting, furnishings and architectural accents; and

iv. Location and dimensions of signs proposed to be attached to the building or structure.

2. Plan Size and Quantity: Plans shall be drawn at a scale no smaller than 1-inch = 100-feet. Except for the landscaping plan, the plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah. The Zoning Administrator

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shall reasonably determine the number of sets of plans required to undertake the review required by this section. One (1) set of plans, reduced to fit on 11 x 17 inch paper, shall be provided.

3. Phased Final Site Plans: A Planned Development may be constructed in phases as shown on an approved Preliminary Site Plan. In such case, a Final Site Plan shall be submitted for each phase.

4. Final Site Plan Time Limitation: At its discretion and for good cause, the Planning Commission may extend for twelve (12) months for one (1) time only the period for filing a Final Site Plan, or in the case of a phased planned development, a Final Site Plan for the first phase. If these time requirements are not met, the Planned Development Overlay shall be deemed revoked.

5. Subdivision Requirements: An application for subdivision approval may proceed concurrently with an application for a planned development. Compliance with the requirements of this Chapter does not exempt any applicant from meeting the requirements of the Kanab, Utah Subdivision Ordinance, except as may be amended by the provisions of this Chapter.

6. Construction Limitations: Upon approval of a Final Site Plan for a planned development, construction shall proceed in accordance with approved plans and specifications, and in conformity with any conditions associated with the Planned Development Overlay approval. No permit shall be issued for any proposed building, structure or use within a planned development unless such building, structure or use accords with the approved Preliminary Site Plan and Final Site Plan, and with any conditions imposed in conjunction with such approvals.

7. Amendments: Amendments to approved plans and specifications shall be obtained by following the same procedure described in this Section 20-8.

Section 20-10 Density

1. Base Density: The base density for a planned development shall be determined as set forth herein; provided, however, that base density shall not exceed the density permitted in the underlying zone in which the planned development will be situated.

2. Base Density Calculation: The base density shall be determined by applying the following formula:

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$$\text{Number of Units} = \frac{\text{Net Land Area}}{\text{Minimum Unit Size in Underlying Zone}}$$

The *Net Land Area* is defined as the Gross Land Area; minus 20% of the Gross Land Area to account for roads and alleys; minus the Sensitive Lands Area determined by the Natural Resource Inventory Map required in Section 20-8-3.

3. Density Bonus: The City Council, after receiving a recommendation from the Planning Commission, may authorize a density bonus as an incentive for an applicant to provide amenities that are not required by this Chapter or the applicable underlying zone, and which otherwise would not be provided.
- a. The permitted bonus density shall be a minimum of 5%, with a maximum bonus density determined for a planned development utilizing the Analysis Table outlined in Exhibit L of this Chapter, in accordance with the following:

| Bonus Densities | |
|-----------------|-------------|
| Acres | Max Bonus % |
| 10 - 100 | 10* |
| 101 - 250 | 15 |
| 251 - 500 | 20 |
| 501 - 750 | 25 |
| 751 - up | 30 |

* includes automatic 5% Bonus

- b. The basis for granting a density bonus shall be included in the findings required to approve a planned development set forth in Section 20-8 of this Chapter.
- c. A density bonus may be authorized up to the maximum allowed based upon provision of one (1) or more of the following criteria.
- (1). Combine and coordinate architectural styles, building forms, and structural/visual relationships within an environment that allows mixing of residential types and other land uses in an innovative and functionally efficient manner (up to 5%);
- (a) A minimum of seventy-five (75) percent of the front exterior of each dwelling exclusive of windows or

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doors, consists of brick or stone.

(b) Required parking for each unit is provided within a garage.

(c) Provide a mix of residential types.

(2). Providing for parks, trails, and recreational facilities (up to 5%);

(a) The project includes recreational entities primarily for the use by residents of the development including swimming pools, sports courts, spas, barbecue and picnic facilities.

(b) Development of one (1) or more common buildings used for meetings, indoor recreation, day care, or other common uses.

(c) Dedication and improvement of land for accessible parks and trail systems that connect to existing trails and to the Master Trails Plan.

(3). Encourage imaginative design, efficient utilization of land and the creation of permanent open space (up to 5%).

(a) Additional landscaping is designed and installed along all streets of the development according to a theme which provides overall design unity.

(b) Theme lighting is used throughout the development for street lighting, walkway lighting, parking areas, entrances, and building exteriors.

(c) Perimeter fencing is used throughout the project that matches building design, such as, masonry columns or piers using the same brick or stone as the buildings.

(d) Special features such as fountains, streams, ponds, sculptures, buildings or other elements which establish a strong design theme for the development and are utilized in highly visible locations.

(4). Designating and donating land for public/civic buildings and amenities primarily for use by the general public (up to 5%); or constructing public/civic buildings and amenities primarily for use by the general public (up to an

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additional 5%); subject to acceptance by Kanab City; including at least four of the following:

- (a) Community center;
- (b) Swimming pool;
- (c) Recreational facility;
- (d) Amphitheater;
- (e) School;
- (f) Church;
- (g) Fire station; or
- (h) Library

(5). Providing for parking upgrades (up to 5%);

- (a) Parking Lots are screened from public view by means of increased berms or landscaping around the parking lot perimeter.
- (b) Parking lots have landscaped islands beyond the minimum required by Chapter 9 of this ordinance.
- (c) Additional large trees that will shade fifty (50) percent of the parking area upon tree maturation.
- (d) Provision of screened recreational vehicle parking areas.
- (e) Neighborhood parking areas placed throughout the development.

(6). Providing an affordable housing component into the development agreement (up to 10%).

(7). Implementing specific Off Site Improvements to meet General Plan Community Goals (up to 15%);

- (a) By implementing specific Goals as outlined in the Kanab City General Plan.

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- (b) Approved by the City Council with recommendations from the Kanab Planning and Zoning Commission.
- (c) Requires cost analysis/benefit by City Engineer.
- (8). Implementing specific Residential and Commercial Landscaping requirements. (up to 5%);
 - (a) Develop a Residential and Commercial Landscaping Plan to be approved in the Project Development Agreement. Reference Exhibits J & K for suggested guidelines.

4. Density Cap: Regardless of the overall density allowed by the base density calculation and density bonuses, in no case shall the density exceed 15 units per acre.

Section 20-11 Development Standards

The development standards set forth in this section shall apply to any planned development and shall prevail over any contrary standard established in other chapters of this Title.

1. Residential Use Types: Residential use types within a planned development shall be shown on an approved site plan. See Chapter One for definitions.
2. Lot Area and Width: A planned development shall not be subject to the lot width and lot area requirements of the underlying zone in which the development is located. The area and widths of lots shall be shown on an approved site plan.
3. Lot and Dwelling Location Requirements:
 - a. Where possible, views of dwelling lots from exterior roads and abutting properties should be minimized by the use of changes in topography, existing vegetation, or additional landscaping.
 - b. Dwelling lots should be accessed from interior streets rather than from roads bordering a planned development.
4. Lot Lines and Building Setbacks: Lot lines and building setbacks shall match the underlying zone, except as modified by the development agreement.
5. Tract Perimeter Setback and Buffer Requirements: Structures shall be situated so as to maintain a minimum setback from any tract property line equivalent to the front yard setback of the underlying zone. When a tract adjoins land used for single-family dwellings, a

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thirty foot (30) landscape buffer shall be provided. Such buffer shall meet the development standards of Chapter 15 of this Title.

6. Walls and Fences: Walls and fences may be required around the perimeter of a planned development.

7. Height of Buildings: The maximum building height shall be limited to 35 feet, and shall not be less than twelve feet.

8. Common Areas:

a. Areas intended for public use shall be freely accessible from streets and/or other common area that have unrestricted entry. Areas intended for restricted use shall be interspersed within residential development so as to convey a sense of openness within the planned development. Residential development may not totally exclude open space from fronting onto streets at appropriate intervals.

b. Common areas shall include all jointly used recreation areas and related landscaping provided for the use and/or visual enjoyment of the residents of the project. Common recreation areas shall be located and improved so they may be readily accessed and used by residents of the dwelling units they are intended to serve. Where necessary, walls or landscaping may be required to protect the privacy of adjoining residents.

c. Common areas may include:

i. Natural areas of undisturbed vegetation or disturbed areas planted with vegetation after development.

1. Use and maintenance of such areas shall be limited to removal of litter and accumulated plant material.

2. Natural waterways shall be maintained as free-flowing and devoid of debris.

3. Stream channels shall conform to the City storm water management requirements and be maintained so as not to alter flood plain levels or increase risk from erosion damage.

ii. Agricultural uses where conditions are suitable for agricultural production. Minimum areas for agricultural use designation shall be five (5) acres.

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iii. Garden plots for use by residents.

iv. Greenways, including pedestrian ways, bike paths and equestrian trails linking residential areas with other open-space uses.

v. Recreation areas designed for specific recreational activities such as children's play areas, playing fields, tennis courts, and similar facilities.

vi. Storm water control and management areas used in conjunction with other allowed uses as described herein.

vii. Alleys, private streets, private drives, buildings and other impervious surfaces as needed to support common open space use. A determination as to whether the roads, buildings or other impervious surfaces may function as common open space shall be made in conjunction with approval of a preliminary site plan.

9. Public and Community Facilities: In addition to dwellings, a planned development may include areas for schools, churches, public or private recreation buildings, and other similar community facilities.

10. Required Improvements:

a. Streets shall be established according to street standards adopted by the City.

b. Curb and gutter shall be required along each side of all streets except where the roadway is approved for construction according to City street standards.

c. Sidewalks shall be installed along both sides of all streets except where alternate pedestrian ways are provided as part of an approved preliminary site plan.

d. Storm water shall be controlled and managed according to a plan approved by the City.

e. Water and sewer systems shall be provided in accordance with standards of the Kanab City Code.

f. Street signs, street lighting, fencing, and any other required improvements shall be provided in accordance with City standards.

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g. Other utilities and improvements shall be provided and installed in accordance with City standards. Easements will be provided for any utilities that cross the common areas.

Section 20-12 Protection of Common Areas

1. Maintenance Of All Common Areas: If common areas are provided within a planned development, adequate guarantees shall be provided to maintain such common areas, and to protect such common areas from future development. Kanab City shall not be responsible for maintenance of any common areas.

a. Alleys and private streets; Kanab City will not be responsible for snow removal, street cleaning, street painting or any other street maintenance.

b. When repairing utilities within private streets, alleys and common areas it shall be the responsibility of the utility provider to restore the common area to its previous condition.

2. Landscape Areas within the Public Right-of-Way: Maintenance of landscape areas within the public street right-of-way abutting the property shall be maintained under the same guidelines as the common areas.

3. Approved Guarantees: No certificate of occupancy shall be issued for any structure in a planned development until all required guarantees have been submitted to and approved by the City. The developer of a planned development may elect any of the following to preserve common areas.

a. *Fee Simple Donation*: A fee simple donation of any portion of common area land may be made to the City so long as the City agrees to accept such donation.

b. *Condominium Association*: Common areas and facilities may be controlled by a condominium association as provided in the Utah Condominium Ownership Act. All common area land and facilities shall be held as a "common element."

c. *Homeowners Association*: Common area land and facilities may be owned by a homeowners' association, subject to applicable provisions of state law. The developer shall provide the City with a description of the organization of the proposed association, including its by-laws, and all documents governing ownership, maintenance, and use restrictions for common facilities. The proposed association shall be established by the

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owner or applicant and shall be operating (with a financial subsidy from the developer if necessary) before the sale of any dwelling units in the planned development. The association documents shall include the following provisions:

- i. Membership in the Association shall be mandatory for each owner and its grantees, successors and assigns.
 - ii. Restrictions concerning common open space and/or facilities shall run with the land and not for a period of years.
 - iii. The Association shall be responsible for the maintenance of all common open space and/or facilities, liability insurance on all common open spaces and/or facilities and paying general property taxes on all common open spaces and/or facilities.
 - iv. In the event the Association does not maintain private common open space areas and facilities as shown on an approved site plan, the City may perform any required maintenance and may thereafter recover all costs incident to performing the required maintenance from the Association and/or each of its members.
 - v. Members of the Association shall pay their pro rata share of costs of upkeep, maintenance, and operation of common open space and/or facilities and/or improvements not dedicated to the City. The association by-laws shall confer legal authority on the association to place a lien on the real property of any member whose dues become delinquent. The bylaws shall also provide that such delinquent dues and all accrued interest shall be paid before the lien may be removed.
 - vi. Written notice to all association members and to the City shall be provided no less than sixty (60) days prior to any proposed transfer of any common area land or facility, or the assumption of maintenance for common area land or facility. No such transfer shall be effective unless approved by the City, which approval shall not be unreasonably withheld so long as it is consistent with the provisions of this Chapter and applicable law.
- d. *Private Conservation Organization or the City:* Fee simple title of common area land or conservation easements may be transferred to a private non-profit conservation organization or to the City having jurisdiction where the land is located.

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e. *Grant of Easements to the City:* The City may, but shall not be required to, accept easements for public use of any portion of common area land or facilities. Such land shall be subject to a satisfactory maintenance agreement between the developer and the City.

f. *Non-Common Private Ownership:* Common area land and facilities may be located on one (1) or more privately-owned lots of at least five (5) acres provided that the lot is restricted from future development through a conservation easement, except uses allowed by an approved site plan.

Exhibit I Illustration 1

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KANAB CITY DEVELOPMENT FEE & DEPOSIT SCHEDULE

The Kanab City Council has adopted the following fee schedule as part of the Kanab City Uniform Zoning Ordinance on January 22, 2008. Fees are intended to cover actual City costs for staff time, public hearings, and direct costs. Fees may be reviewed annually by the City Council and are subject to change to accurately cover City Costs. The City Office is pleased to assist you. Please feel free to contact us if you have any questions.

Additional deposits will be required when initial deposits are fully expended. Any unused portion of deposits will be refunded to applicant upon completion of the project.

| Description | Amount | Type |
|-------------------------------------|---------------------------------------|---------|
| Annexation | \$500 | Fee |
| Appeals Officer | \$150 | Fee |
| Conditional Use Permit (CUP) | \$150 | Fee |
| Encroachment Permit | \$25 + .25¢/SF , \$100 noncompliance | Fee |
| General Plan Amendment | \$100 + Acreage Fee ^{1,2} | Fee |
| Hillside Review | \$500 | Deposit |
| Home Occupation Permit | \$30 ⁵ | Fee |
| Lot Line adjustment | \$200 | Fee |
| Lot Split/Join (2 lots) | \$200 | Fee |
| Planning Staff Review (PSR) | No Fee | n/a |
| Sign Permit | Wall Sign \$0 - Free Standing \$100 | Fee |
| Site Plan Review (SPR) ³ | \$500 + \$50 / Ac, over 1 Acre | Deposit |
| Preliminary & Final Plat | \$2000 + \$75/lot | Deposit |
| Amendments-Preliminary Plat | \$200 | Fee |
| Amendments-Final Plat | \$250/lot + \$10/lot | Fee |
| Zone Change | \$100 + Acreage Fee ^{1,4, 6} | Fee |
| Development Agreements | \$5000 | Deposit |
| PD Overlay | \$500 + Acreage Fee ^{1,4,7} | Fee |

1. Acreage Fee - This fee is a sliding scale fee - where first one hundred acres is charged at \$50/ac.; then 101-500/ac charged at \$25/ac, etc.

Exhibit I Illustration 1

(Example: 1-100 ac. = \$50.00 per ac., 101-500 ac. = \$25.00 per ac. 501 - + = \$10.00 per ac.)

(Note: acreage to be zoned as open space, no charge if open space is over 10 acres)

(Note: <1 ac. No acreage charge)

2. (Note: Open Space includes parks, golf courses, flood plains, hillsides and similar natural areas, but not required recreation areas and setback areas)
3. (SPR) is used for commercial, industrial, and institutional developments, site plans that must go to the Planning Commission, and residential with 5 or more du/lot; Exceptions are public schools, fourplex or less per lot, and minor additions to an existing development.
4. (Note: Amendments to existing PD Overlays are \$500 + acreage fee for additional acres added to the original PD Overlay)
5. Conditional use permit fee shall be waived with home occupation permit application.
6. Zone change fee shall include General Plan amendment when requested in the same application.
7. When requesting a PD Overlay and a Zone Change at the same time the Zone Change Fee will be waived and only the PD Overlay Fee will apply.

PD Overlay

Residential Landscaping Guidelines

**To create a
visual
relationship
between the
house, its site,
and the
neighborhood**

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Section 20-1 Purpose and Intent

Landscape design is the conscious arrangement of outdoor space for human enjoyment and satisfaction. A well designed home landscape is aesthetically pleasing and functional. It offers pleasure to the family, enhances the neighborhood, and adds to the property's resale value. With a little forethought and planning, this Exhibit will help organize a home site for maximum use and pleasure, and create a visual relationship between the house, its site, and the neighborhood.

The planning process, possibly the most important aspect of residential landscaping, is often neglected. We frequently see the evidence: a few scattered shade trees, overgrown foundation shrubs, a narrow concrete walk, and a fenced backyard. The resulting landscape rarely looks good, can be fairly expensive, and may not serve family needs. Good planning can save time, effort, and money and can lead to a much more satisfying environment.

There are six basic steps to creating a landscape plan. When the steps are followed, the finished product will be a landscape that reflects the consumer's wants and needs and allows for growth and change in the future.

Section 20-2 General Guidelines

The General Guidelines are meant to be a guide to help anyone interested in implementing a residential landscaping plan.

- To achieve success one must Implement and follow the six step process in developing a landscaping plan for residential lots.

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Section 20-3 Six Step Process for Creating a Landscaping Plan

Step One - Develop a Plot Plan

The first step in landscape design is to draw a plot plan of the site showing the boundaries and physical features that will affect the design. The plan should include property lines and angles; show the placement of each house on the property; and indicate the location of driveways, utilities, easements, and any other limitations.

Locate one corner of the house by measuring the distance from the nearest property line and from the back edge of curb. Measure the distance from each corner on the side of the house to get the correct orientation. Use a plat to obtain more accurate dimensions.

When all of the information has been gathered and marked on a rough sketch, transfer it to a final plot plan drawn accurately to scale (Fig. 1). Suggested symbols are shown in (Fig. 2). Indicate compass directions on the plan.

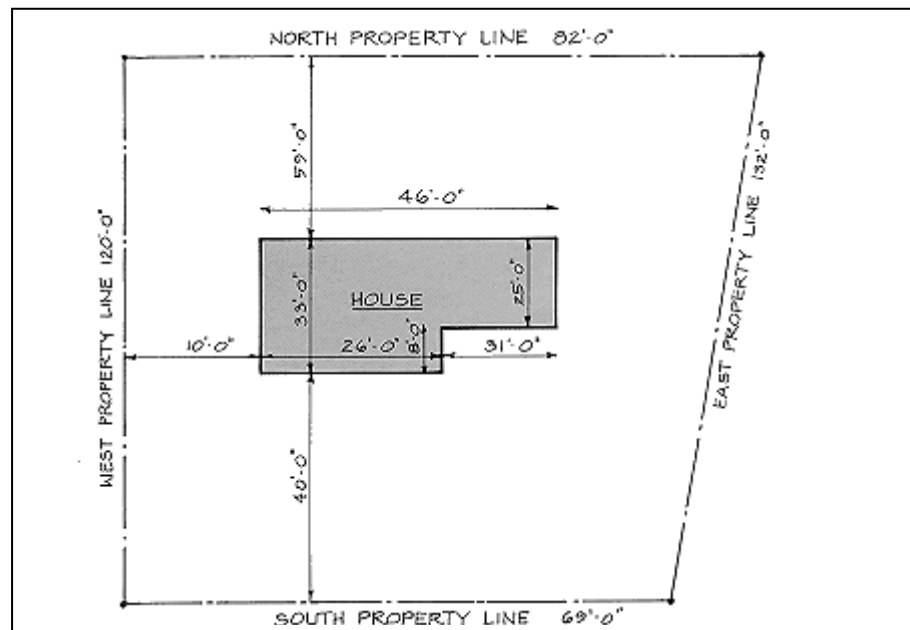
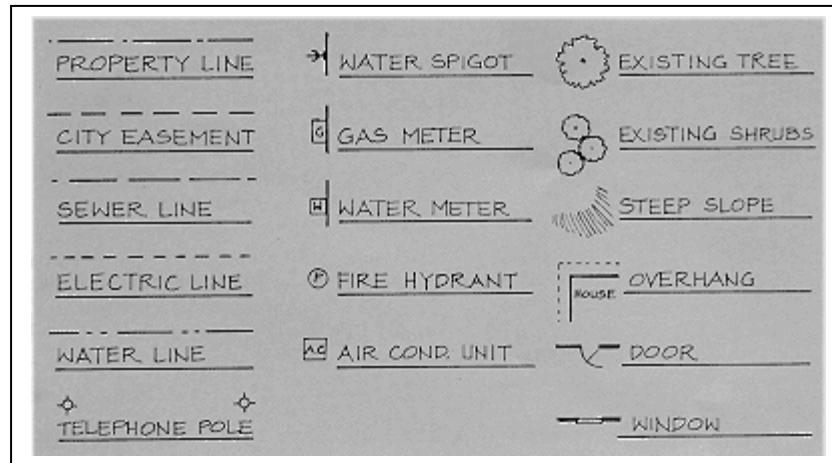


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Next, locate any existing features on the property and the house using the same method as shown in (Fig. 1). Be sure to include the following:

- Windows, doors, and other openings, including height off the ground Above-ground and underground utility lines
 - Existing trees and shrubs
 - Utility meters, drain pipes, water spigots, outlets, and septic tank
- Features on or near the property line

Mark these features on the plot plan as shown in (Fig 3)

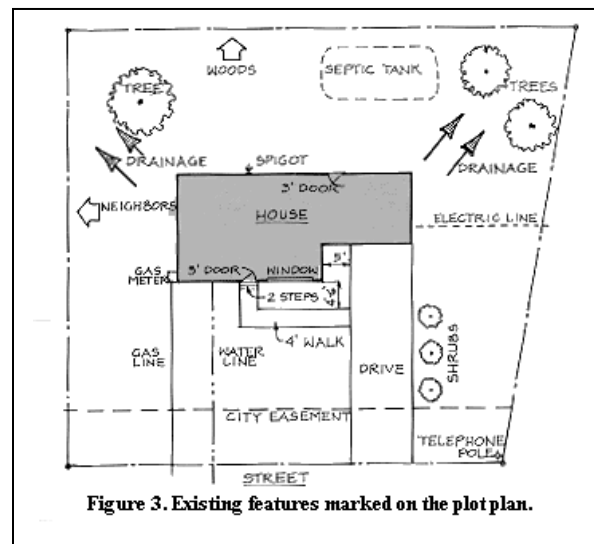


Figure 3. Existing features marked on the plot plan.

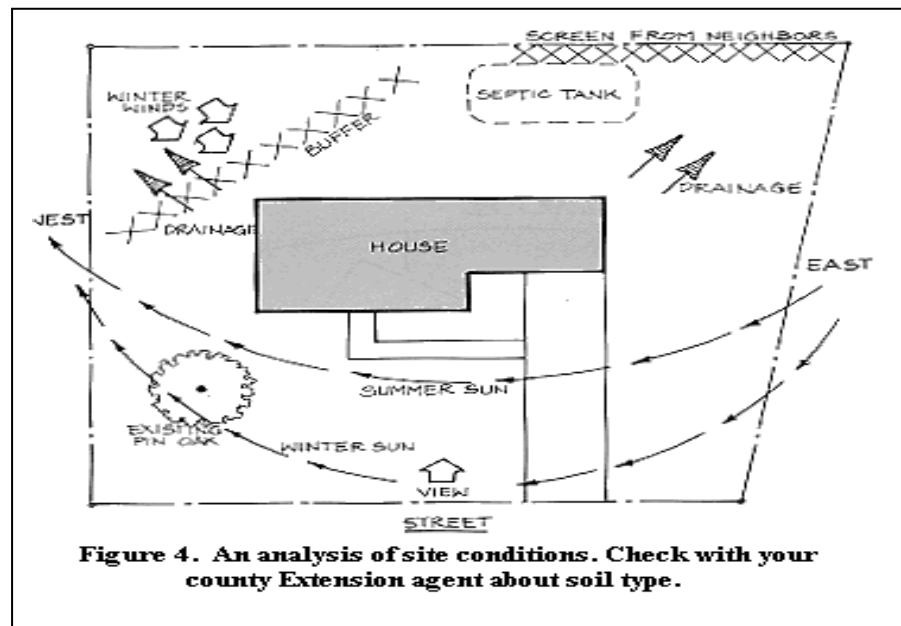
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Step Two - Conduct a Site Analysis

Study each site and analyze its environmental features. An example is shown in (Fig. 4).



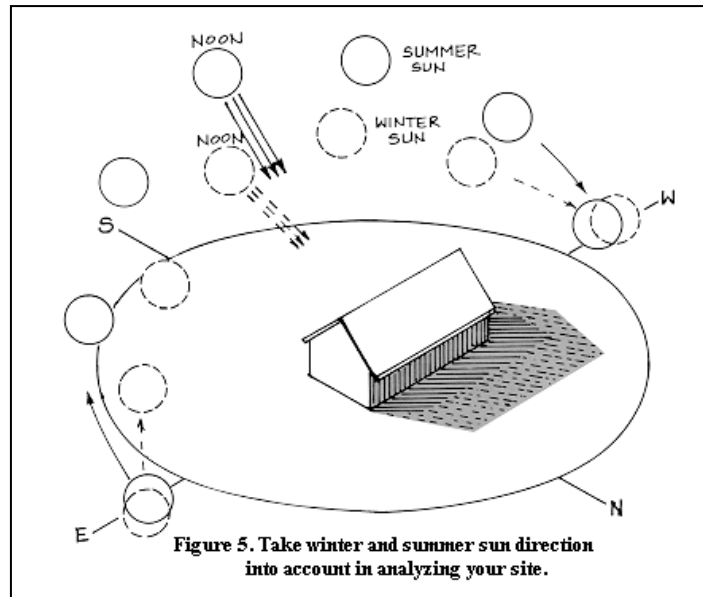
Sun and Shade

The way the sun affects the house and site at different seasons will greatly influence the overall design. By knowing the direction of the sun at different times of the year, it will be possible to determine where trees will be needed to provide shade in the summer and where open areas will be needed to allow the winter sun's rays to heat the house and outdoor living areas (Fig.5).

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Wind

Knowing the direction of prevailing winter winds can help decide where to locate a windbreak. Care should be taken not to block off any summer breezes from outdoor living spaces.

Sights and Sounds

Walk around each property and note what is seen in various directions. When standing on the front step, is there a pleasant view? What is seen from the deck in the back yard? Also, take note of any objectionable noises that occur often. Note the good and bad views and the sources of noise on the site analysis. Also think about the views looking in.

Soils

The soil in many parts of Kanab City is tight clay, which needs both physical and chemical amendments before trees and shrubs can be planted. Have soil tests made and note the soil type and topsoil depth on the site analysis. (County Extension Centers can provide information on free soil testing.) Also note any poorly drained areas that may need underground drainage. Does water stand in low areas after a rain? Do these areas remain wet for several days?

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Step Three - Assess Family Needs

Identifying personal needs and wants will help in designing a landscape that is aesthetically pleasing, enjoyable, and functional for each home owner. Listed in the "Checklist of Landscape Needs" are examples of the kinds of landscape needs that home owners might consider.

Checklist of Landscape Needs

Access to the house

Walks -- width, drainage, appearance, and lighting
Driveways -- type of surface and amount of turnaround space
Parking -- for family, guests, a camper, a boat, or bicycles

Family Activities

Outdoor entertaining -- cooking, seating, and patio access
Children's play area
Sports, recreation
Extra parking for boat or recreational vehicle

Maintenance

Storage for garden and yard maintenance equipment

Don't forget space for:

Garbage cans
Clothesline
Dog pens
Firewood storage

Step Four - Locate Use Areas

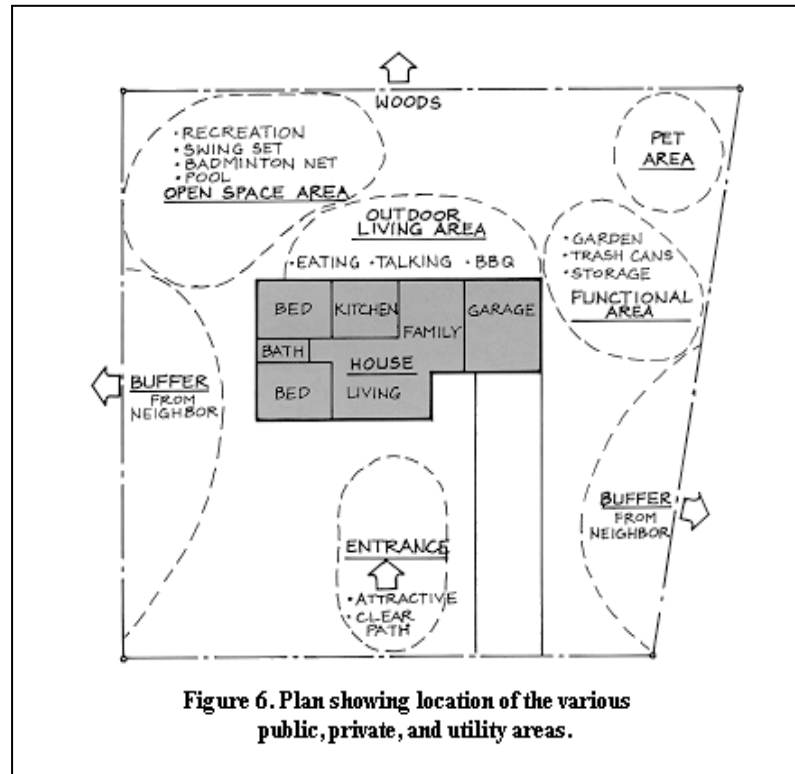
Refer to the list of family needs and decide where to locate the areas for various uses. Try to provide enough space for each activity. Following this step divides each site into several separate areas, each serving a specific purpose but all combined into the overall design.

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Public, private (family), and service (utility) areas can usually be defined in residential landscapes. Try to develop each one according to one's family needs and priorities. Record these areas as shown in Figure 6.



Step Five Develop Use Areas

Public and Entrance Areas

The area most often seen by passers-by and guests is referred to as the public area. It usually includes the front yard, drive, walks, and main entrance to the home.

One of the first questions is where your guests enter the house. If they come in through the garage and utility room rather than the front

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entrance, concentrate on redirecting them to the front door. This can be accomplished with several landscape features.

First, consider the width of the front walk. A minimum of 4-1/2 feet is comfortable for two people walking together (Fig. 7). The front entrance can be enhanced by a walkway with an interesting surface texture such as brick, slate, or aggregate concrete. Outdoor lighting is very effective for directing pedestrian traffic after dark.

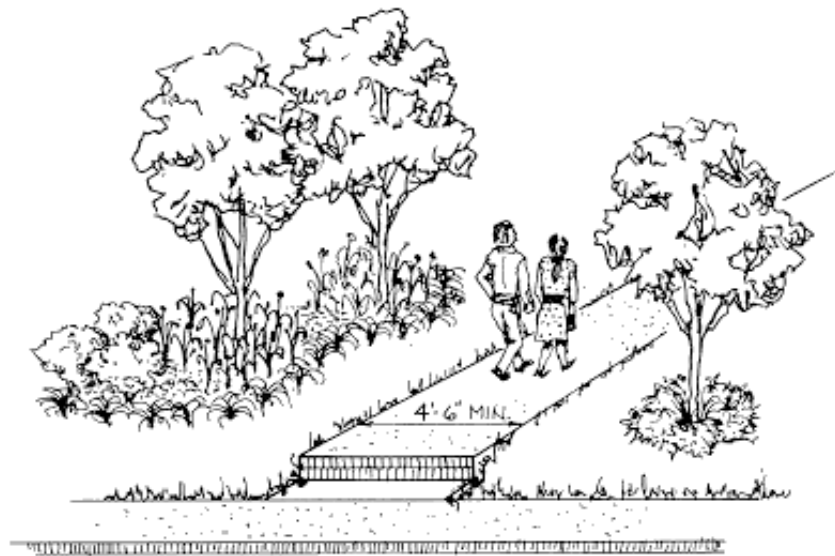


Figure 7. The front walk should be wide enough to allow two people to walk side by side.

Try to add a focal point to the entrance area. You might use an interesting tree under-planted with a ground cover or a planter with a specimen shrub. A popular trend in landscaping is low, indirect lighting. Remember, do not limit yourself to trees, shrubs, and grass to create interesting landscape areas.

Your plan should include vehicles as well as people. If off-street parking is needed to accommodate additional cars, consider locating these spaces where they are easily accessible. Parking can be incorporated into the landscape design.

Foundation plantings are often considered when thinking of landscaping. Many home foundations are over-planted. Choosing and placing foundation plants is one of the most important landscape concerns.

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Foundation plants are always in the public eye. They greet visitors, add dimension to the area, and when properly chosen, accentuate the architectural lines of the house.

The old formula funnels attention to the entrance. Often, however, the result is shrubs that quickly become overgrown and troublesome (Fig. 8).



Figure 8. The "funnel" approach to foundation plantings often leads to an overgrown appearance.

This landscaping theory assumed that the house must be surrounded by plants to conceal its unsightly foundation. More recent architecture usually does not need this screening.

When planning the foundation areas, consider the size, color, texture, and number of plants needed to direct visitors to the entrance and accentuate the architectural lines of the house. Quality plants are most important. Instead of over-planting with small shrubs (of the size sold in 1-gallon containers) to give an effect of instant maturity, use fewer plants of specimen size and character. A few well-placed specimen plants are much more impressive than a row of small ones. Choose a location to enhance the individual character of a plant so that as it matures it will get better without major maintenance.

In modern landscape designs a small ornamental tree is frequently located as close as 5 or 6 feet from the foundation. Good choices are

_____. Tree-form evergreen shrubs are also useful, such as _____.

Incorporate masses of ground covers or mulched areas to create interesting lines. Remember that quality, not quantity, enhances the landscape.

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Family Activity Areas

When designing areas to be used by home owners, refer to the needs identified in step three. What are the landscape needs and wants? You can use landscape design to create private areas with attractive views from your patio or terrace. With our pleasant climate we can enjoy outdoor activities most of the year. The outdoor living areas should be easily accessible to living and kitchen areas of the home. Decks, patios, and terraces should be considered an integral part of the residential landscape.

Various construction materials are available to the homeowner for these projects. The use of pressure-treated wood for decks and screening walls is very popular in modern landscaping. Brick and aggregate concrete make excellent terraces and patios. Hot tubs, container plants, raised beds, water features, and sculptures can all be combined to enhance an outdoor living area.

The recreation and sports area is naturally a part of the family activity area. Some families enjoy sports such as tennis or swimming that require special planning. If you may someday add a tennis court or swimming pool to your site, be sure to leave enough space.

The needs of small children for landscape space should also be considered. Plan for sandboxes, swing sets, playhouses, and toys to be located in the family activity area. Consider their removal when the children grow up.

Utility or Service Area

Every residential landscape requires an area where gardening equipment, garbage cans, firewood, bicycles, and other items can be stored. Often these items end up at one side of the garage, behind the back porch, or under the deck. When designing your landscape, set aside a certain amount of space for these necessities. Try to provide space for an outside utility building that is easily accessible.

Remember to keep the back of your site accessible to vehicles. Some day you may need to have a tree removed or a concrete patio installed.

Space for gardening activities, such as a greenhouse or beds for vegetables and cut flowers, should be provided for this area. Also, locate any compost pile here. If unsightly utility areas are visible from your house or patio, a screening wall or hedge may be needed. Do not forget to screen off unsightly areas from the neighbors, also.

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Checklist for Steps Four and Five

Public or entrance area

- Is the entrance adequately accented?
- Is the house number easily seen?
- Do guests enter where you intend them to?
- Does the walkway attract attention?
- Are exterior lights required?
- Is the house "over-planted" with shrubs?
- Has consideration been given to using small trees and ground covers?
- Do foundation plants vary in texture, form, size, and color?

Home Owner's activity areas

- Is there a need for a patio, deck, or terrace?
- Are there outdoor cooking facilities?
- Are hedges or screening walls needed to provide privacy?
- Are children's play area's needed?
- What about accessibility?

Utility area

- Is this area easily accessible?
- Will it accommodate all the equipment to be stored?
- Is screening needed?
- Is the garden area, if any, located where it will receive maximum sunlight and have good drainage?

Step Six Design - Construct and Plant

Landscaping guided by a series of "rules" does not take the needs of individual families and sites into account. Do not let the design be limited by such so-called rules as "always plant shrubs in groups of three or five," and "never plant annuals in the public area." Good design rarely results from following rigid rules.

Design Concepts

This exhibit does not provide any rules or recipes for landscape design. Instead it offers some design concepts to be drawn upon selectively to meet individual landscape needs that meet the overall landscape theme of the development.

In designing a landscape, consider the site inventory and analysis, the style of architecture, and the home owner's personal landscape requirements. The objective is to create good visual relationships between the features on the site and the site itself. Creating spaces is

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important in accomplishing this objective. The finished design should reflect the priorities set by the needs to satisfy aesthetic values and functional requirements.

From among the modern landscape trends explained in this section, select those that will enhance the site. Landscape design includes both plants and construction materials.

Emphasize by Group Planting

_____ can be mass planted in informal beds (Fig. 9). Try to locate the plants so that a natural scene is created as they mature. Plant the shrubs or trees together in one large bed and mulch well. Consider adding bulbs for seasonal color.

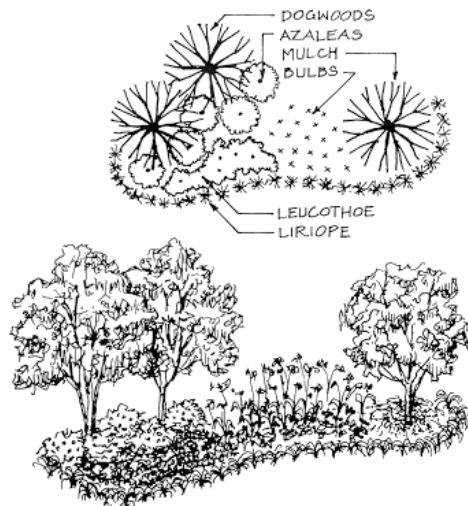


Figure 9. Flowering shrubs and trees can be grouped to create a natural scene.

Provide Privacy

If the site analysis reflected a need to screen unsightly views, provide a noise barrier, or create privacy, plant evergreen shrubs or build a screening fence. If room and time allow, a natural evergreen hedge may be the answer. Many trees and shrubs that make good screens grow very well in this area. For immediate privacy and low maintenance, you might choose to build a fence. The space required for various types of screening barriers is shown in Figure 10.

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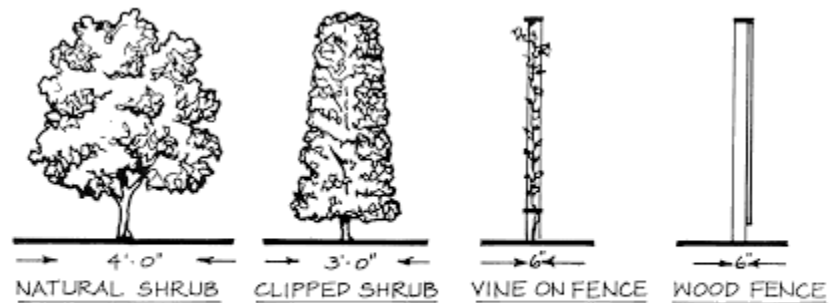


Figure 10. Space needed for four types of 6-foot visual barriers.

Specimen Plants

In selecting plants consider quality, not quantity. The plants used should be of specimen quality. Locate plants where they will create focal points and draw attention to a special area.

Energy Conservation Through Landscaping

Locate deciduous trees where you will benefit from summer shade and winter sun. Use a windbreak if necessary. Combining these landscape ideas with proper insulation and conservation habits can significantly decrease energy consumption.

Construction Materials: Wood, Brick, and Railroad Ties

You can broaden your idea of landscaping to include screening walls, patios, outdoor lighting, walks, and decks. Landscape architects incorporate many of these items as important landscape features.

Wood construction offers the homeowner a readily available and relatively simple way to create functional, pleasing outdoor garden features. Selecting the proper kind of wood is important because the finished product must withstand all kinds of weather and insect attacks. The wood must also be strong and resist wear, splintering, and warping.

Use redwood that has been treated with a preservative for outdoor construction. The naturally decay-resistant woods are redwood, cypress, and western red cedar. Various outdoor grades of these woods are available, although all are quite expensive.

Treated lumber is more economical and is satisfactory for most projects. Pressure-treated wood is the best choice. This lumber must meet certain standards for various uses and is marked accordingly.

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When designing a structure to be built with treated lumber, try to use the entire board. Common lumber lengths are 8, 10, and 12 feet. Longer boards are progressively more expensive. A deck designed to be built with 10-foot lumber will be much less expensive than one designed with planks 10 feet 8 inches long. Also, remember that you are working with "outdoor scale." Instead of an 8-foot ceiling and walls 12 to 15 feet apart, outdoor spaces might be defined by a 25-foot tall tree canopy or the backyard fence 75 feet away.

If you are designing a deck or patio for outdoor entertaining, imagine all your guests in the allotted space. Outdoor furniture is usually heavier and larger than that used indoors, and people are accustomed to more elbow room outside. Stake off the space you plan to use and see if it "feels" the right size.

Brick is one of the easiest construction materials to use and is readily available. Building a walk, terrace, or patio can be a weekend project. Laying brick on sand (with or without mortar) is an acceptable landscape practice.

Railroad ties offer many possibilities for landscaping. They make very attractive retaining walls, planters, or borders. Use care to square off rough ends and turn down ragged edges.

Preparing the Final Plan

When finished with the planning steps and consideration has been given to the various design concepts, preparation can begin in designing the landscape plan. Your planting plan and plant list should show the location of all plants and give appropriate information. This final plan will also show any changes to be made in the walks or drive and any additions such as a deck or patio (Fig. 12). The symbols shown in Figure 13 can be used in drawing the plan.

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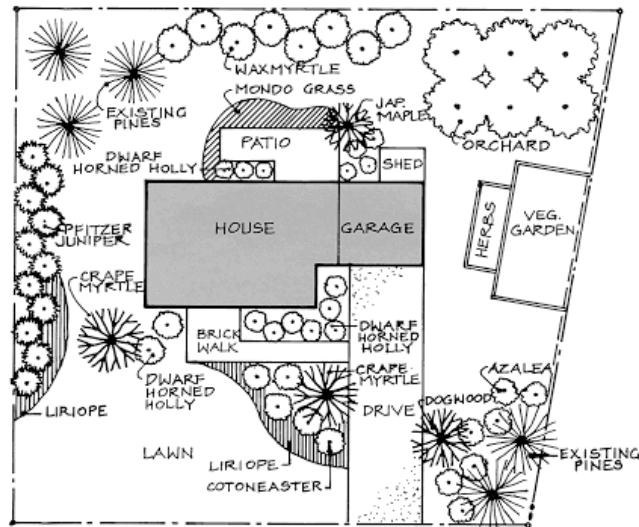


Figure 12. The final planting and construction plan. Plants used are listed on the following page.

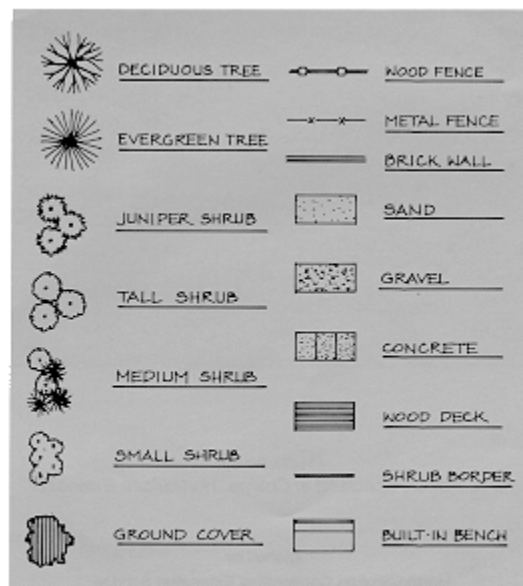


Figure 13. Symbols for use on the final plan.

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**To create a
visual
relationship
between the
house, its site,
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Section 1-1 Purpose and Intent

These landscape standards are hereby established to create and maintain an aesthetically appealing community character that minimizes the negative impacts of vehicular traffic, parking lots, etc., and which incorporates human scale into the visual perception of the Planned Development. Specifically, these requirements are intended to beautify the public way; to increase the compatibility of adjacent uses by requiring a buffer or screening between uses; to minimize the adverse impact of noise, dust and headlight glare; to reduce topsoil erosion and storm water runoff; and to re-establish a canopy cover over the built environment to mitigate the effects of sun and wind so as to moderate extremes of temperature, provide shade, reduce wind velocity and conserve energy resources.

Section 1-2 Applicability

The landscape guidelines set forth herein may be applied to all Approved commercial landscape plans within a Planned Development Overlay through the final plan review procedures and through the site plan review process pursuant to this ordinance.

Section 1-3 Required Landscape Plan

The landscape plan shall be drawn to an accurate engineering scale, and include a scale, north arrow, location map, original and revision dates, name and address of owner and site plan designer. Plans shall show all landscape areas and their uses, the number of plantings by type, the size of plantings at installation, the on-center spacing for hedges, the caliper size of all trees at installation, existing vegetation and plantings, and proposed berming and fencing. Also included shall be all proposed/existing structures and other improvements, including but not limited to paved areas, berms, lighting, retention/detention areas and planting material. The landscape plan shall be sealed by a state registered Landscape Architect unless waived by the Zoning Administrator.

Section 1-3 Landscape Provision

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The following provisions shall be deemed as the minimum requirements for the landscape plan. Additionally, a variety of planting material is desired and must be reflected in the landscape plan.

A. The following requirements shall apply to all parcels and are cumulative:

- Storm-water facility requirement. For lake facilities, provide three canopy tree equivalents per each 100 feet of high water line. For detention facilities, provide five canopy tree equivalents per 100 feet of high water line. A minimum of 25% of the required canopy tree equivalent shall be non-canopy tree planting material. Alternatively, such facilities may be designed as natural features, implementing native deep-rooted shoreline plantings that stabilize the soil, slow runoff, facilitate infiltration and decrease erosion, subject to specific approval by the City.
- Street tree requirement. Provide three canopy trees per 100 feet of right-of-way frontage, in the parkway on each side of each public street. If it is not possible to locate these trees in the parkway, place them within the exterior yards next to the parkway pursuant to the required count. When located below power lines, however, street trees must be under-story trees.
- Setback area requirement. All required setback areas shall be planted in turf or other acceptable living groundcover.

B. The following requirements shall apply to all non-single family detached parcels and are cumulative in addition to the requirements of this ordinance:

- Perimeter Yard Requirement. Provide three canopy tree equivalents per 100 feet of lot perimeter, which may be clustered.
- Buffer Yard Requirement. Enhance the boundaries between adjacent non-residential-uses and residential uses, and between adjacent single family detached residential uses and non-single family detached residential uses to provide an aesthetic screening treatment by planting two canopy tree equivalents per one hundred feet of lot line, of which fifty percent (50%) shall be non-canopy tree planting material. Alternatively, a wall or fence may satisfy the requirement as determined by the City.
- Parking Lot Internal Requirement. An 8.5' by 19' landscaped island protected by a six inch raised concrete curb shall be established for every 20 parking spaces. Said islands shall be

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planted with 1.5 canopy tree equivalents with the preferred planting material mix including one canopy tree. Said islands shall be located to organize and direct traffic flow within the parking lot, and may be clustered.

- Foundation planting requirement. Provide one canopy tree equivalent per 100 lineal feet of building foundation to effectively relate the structure to the landscape, of which 100% of the requirement shall be non canopy tree planting material.
- 5. Dwelling unit requirement. Provide 1 canopy tree equivalent per dwelling unit located around and/or adjacent to the structure.

C. The following requirements shall apply to all newly established single family detached developments and are cumulative in addition to the requirements of this ordinance:

- Neighborhood border requirement. Provide subdivision neighborhoods with landscape borders, in which planting material, entry monuments and features, grade changes and the like are located. These borders shall be a minimum of 20 feet wide and shall be located along all public streets where single family detached lots do not front on such streets. Said border areas shall be planted at four (4) canopy tree equivalents per one hundred (100) feet of right of way frontage, of which fifty percent (50%) shall be non canopy tree planting material.
- Dwelling unit requirement. One canopy tree or equivalent shall be planted for each interior lot, and two trees for each corner lot. Said trees shall be planted in the required exterior yards of each street frontage.

D. The following provisions shall apply to all non-single family detached parcels and any planting material utilized shall be credited toward the requirements of 5.16- 4.2

- Parking Lot Screening Provisions. Screen parking lots within 50 feet of public rights-of-way with compact hedging, berming, decorative fencing, decorative masonry, or a combination of these techniques, to a height of two and a half feet (2.5').
- 2. Miscellaneous Screening Provisions. Screen to 100 percent opacity dumpsters, trash enclosures, HVAC and utility facilities with a combination of plant material and decorative fencing, decorative masonry, building structural extensions, or other similar elements.
- Storage Area Screening Provisions. All exterior storage for business, wholesale and manufacturing uses shall be

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screened as provided herein. Screening shall be to an opacity of not less than seventy-five (75) percent, six (6) feet above grade and may be accomplished by berming, landscaping at seven canopy tree equivalents per 100 feet of storage perimeter, neutral colored fence slatting, or wall construction. Such screening shall be required when one or more of the following conditions are present:

- a. When any exterior yard of the property is located along a public right-of-way and storage is two hundred (200) feet or less from the right-of-way.
- b. When any exterior yard of the property is located across a street from property that is zoned or developed solely for residential or public park purposes regardless of the distance from the residential or park property and the.
- c. When any exterior yard of the property is located across an alley from property that is zoned or developed solely for residential or public park purposes and the storage is two hundred (200) feet or less from the residential property.
- d. When the property is located contiguous to the yard of property that is zoned or developed solely for residential or public park purposes and the storage is two hundred (200) feet or less from the residential property.

E. In addition to new planting material, the City may recognize and give one canopy tree equivalent credit for each 12 inches of caliper of healthy existing material that is in desirable condition and properly located as determined by the City.

F. The City may give credit for canopy tree equivalents that are planted at a size greater than the required minimum size. Such credit may satisfy up to 10 percent of the total canopy tree equivalent requirement, exclusive of the street tree requirement. The following shall be a basis for the credit:

- Canopy tree or under-story tree. For each inch of caliper greater than the minimum required, an inch of credit shall be applied.
- Evergreen tree or multi-stemmed tree. For each foot in height greater than the minimum required, a foot of credit shall be applied.
- 3. Deciduous or evergreen shrubs. For each two feet in height greater than the minimum required, a foot of credit shall be applied.

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Section 1-3 Planting Material Specifications

The specifications for all required planting material shall be pursuant to this ordinance.

A. The minimum size of the material at time of planting shall be as follows:

- Canopy tree at 2.5 inch caliper. Note: caliper shall be measured 12 inches from the base of the tree.
- Evergreen tree at 6 foot in height, or under-story tree at 2.5 inch caliper, or multi-stemmed tree at 8 foot in height.
- 3. Deciduous or evergreen shrubs at 18 inches in height.

B. Planting Material Variety. In order to allow for flexibility while maintaining minimum planting levels, many of the above provisions specify “canopy equivalents” instead of canopy trees. A canopy equivalent is one canopy tree, or three evergreen/ under-story/ multi-stemmed trees, or twenty shrubs. These equivalent amounts are allowed to substitute for a canopy tree since the approximate coverage area at maturity of each of the equivalent amounts is comparable to the approximate coverage area at maturity of one canopy tree.

C. Acceptable and unacceptable tree species shall be pursuant to this ordinance.

Section 1-3 Review and issuance of the building permit

The City may allow through a staff review of said plan, minor deviations which do not substantially alter the plan, and which do not substantially diminish the intended benefits of said plan.

Section 1-3 Recognition of cost of planting materials

City shall recognize that the cost of planting material required by the standards of this ordinance must be proportionate to the cost of the balance of work being proposed, and shall not exceed 20% of the total project costs, exclusive of sod and seeding costs, as supported by two written bids by recognized contractors.

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Section 1-3 Planting Material Installation and Maintenance

Planting Material Installation and Maintenance. Planting material shall be installed prior to the end of the first available planting season prior to the issuance of an Occupancy Permit. Said planting materials shall be maintained and kept in a healthy condition, and any required planting material that dies shall be replaced prior to the end of the next available planting season. An irrevocable Letter of Credit shall be required as deemed necessary by the Zoning Administrator to guarantee installation of improvements required by the approved landscape plan prior to the issuance of a permit. The amount of said Letter of Credit shall be based on written bids from contractors covering the installation of all elements of the landscape plan including but not limited to all planting material, fencing, screen walls and pavers. Said Letter of Credit may be required where there are extensive elements required by the approved landscape plan as determined by the Zoning Administrator.

Section 1-3 Timing Extension for installation Landscape Provision

If construction work is completed during the off-planting season, a temporary certificate of occupancy shall be issued for the property which shall specify that all planting material as required by this ordinance be installed prior to the end of the next planting season.

Exhibit L

PD Overlay

Bonus Density Analysis

CITY OF KANAB

Uniform Zoning Ordinance

Exhibit L - PD Overlay Density Analysis Worksheet Acre Ranges
 Version 1.0.6 10 - 100 101 - 250 251 - 500 501 - 750 751 - 9000

Enter Project Gross Acres ----->

Less Roads and Alleys

Less Sensitive Lands
estimate in %

Net Land Area - Acres

Net Land Area - SqFt

Open Space
Minimum 20%

Net Base Density

| | | | | | | | | |
|--------------|--------|---------------|------------|--|--|--|--|--|
| (Medium) | R-1-8 | Lots per acre | Total Lots | | | | | |
| | R-1-10 | Lots per acre | Total Lots | | | | | |
| (Low) | R-1-15 | Lots per acre | Total Lots | | | | | |
| | R-1-20 | Lots per acre | Total Lots | | | | | |
| (Very Low) | RR1 | Lots per acre | Total Lots | | | | | |

Net Base Lot Sizes

| | | | | | | | | |
|--------------|--------|---------|-----------|--|--|--|--|--|
| (Medium) | R-1-8 | sq. ft. | Lot Sizes | | | | | |
| | R-1-10 | sq. ft. | Lot Sizes | | | | | |
| (Low) | R-1-15 | sq. ft. | Lot Sizes | | | | | |
| | R-1-20 | sq. ft. | Lot Sizes | | | | | |
| (Very Low) | RR1 | sq. ft. | Lot Sizes | | | | | |

Enter Bonus Density Applying for ----->
 Starting with 5% and in increments of 1% 10% Max 15% Max 20% Max 25% Max 30% Max

Bonus Density Calculations

Included Bonus ----->
for 10 - 100 acre projects

| | | | | | | |
|--------------|--------|--|--|--|--|--|
| (Medium) | R-1-8 | Total Units | | | | |
| | R-1-10 | Total Units | | | | |
| (Low) | R-1-15 | Total Units | | | | |
| | R-1-20 | Total Units | | | | |
| (Very Low) | RR1 | Total Units | | | | |
| (Medium) | R-1-8 | Lot Size w/ Bonus Density APPLIED | | | | |
| | | Lots Per Acre w/ Bonus Density APPLIED | | | | |
| | R-1-10 | Lot Size w/ Bonus Density APPLIED | | | | |
| | | Lots Per Acre w/ Bonus Density APPLIED | | | | |
| (Low) | R-1-15 | Lot Size w/ Bonus Density APPLIED | | | | |
| | | Lots Per Acre w/ Bonus Density APPLIED | | | | |
| | R-1-20 | Lot Size w/ Bonus Density APPLIED | | | | |
| | | Lots Per Acre w/ Bonus Density APPLIED | | | | |
| (Very Low) | RR1 | Lot Size w/ Bonus Density APPLIED | | | | |
| | | Lots Per Acre w/ Bonus Density APPLIED | | | | |